

DRAWING LIST - REZONING PRE-SUBMISSION	
Sheet Number	Drawing Name
A0.08	COVER SHEET - REZONING PRE-SUBMISSION
A1.00	SITE SURVEY AND REGISTERED PLAN
A1.10	SITE PLAN - EXISTING
A1.12	SITE PLAN - PROPOSED
A2.10	BASEMENT - FRAMING PLAN
A2.11	LEVEL 1 - FRAMING PLAN
A2.12	LEVEL 2 - FRAMING PLAN
A2.13	LEVEL 3 to 8 - FRAMING PLAN
A5.00	NORTH AND EAST ELEVATIONS
A5.01	SOUTH AND WEST ELEVATIONS
A5.11	BUILDING RENDERING
A5.12	BUILDING RENDERING
A5.13	BUILDING MASSING
A6.11	EXTERIOR WALL SECTIONS
A7.01	SCHEDULE OF ACCOMMODATIONS



CONTEXT PLAN - MILTON, ONTARIO



BIRD'S EYE VIEW OF PROPOSED DEVELOPMENT

Project
Issue
Plot Date

Excelligent Milton LTC
Issued for Rezoning Pre-Submission
2023-11-28 1:21:33 PM

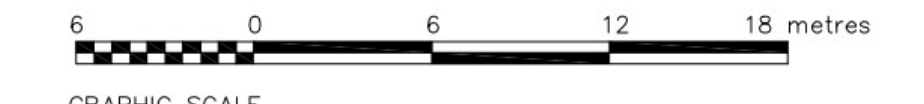
Owner
Project Address
Project Number

Excelligent Care
6360 Regional Rd 25, Milton, Ontario
22012

LEGAL DESCRIPTION:
PART OF LOT 1
CONCESSION 2, NEW SURVEY
GEOGRAPHIC TOWNSHIP OF TRAFALGAR
TOWN OF MILTON
REGIONAL MUNICIPALITY OF HALTON
ALL PROPERTY BOUNDARY INFORMATION AS PER SURVEY PREPARED BY ROBERT D. MCCONNELL, DATED JUNE 15, 2022.

O.L.S. FILE # 42-22-1C (Top)

**TOPOGRAPHIC SURVEY OF
PART OF LOT 8
CONCESSION 2 NEW SURVEY
GEOGRAPHIC TOWNSHIP OF TRAFALGAR
TOWN OF MILTON
REGIONAL MUNICIPALITY OF HALTON
SCALE 1:300**



GRAPHIC SCALE
CUNNINGHAM McCONNELL LIMITED
ONTARIO LAND SURVEYORS

METRIC NOTE
ALL DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

TOPOGRAPHIC LEGEND

—	DENOTES ANCHOR WIRE
BB	DENOTES BELL BOX
CB	DENOTES CATCH BASIN
CCB	DENOTES CONCRETE CURB & OUTER
CCW	DENOTES CONCRETE SIDEWALK
CS	DENOTES CURB INLET CATCH BASIN
CSL	DENOTES CURB SILL ELEVATION
CSM	DENOTES CURB MANHOLE
CSU	DENOTES CURB UTILITY POLE
CSV	DENOTES CURB STREET SIGN
○	DENOTES DECIDUOUS TREE
—	DENOTES TOP OF BANK
X	DENOTES FENCE LINE
—	DENOTES OVERHEAD WIRE
—	DENOTES MARSH

UTILITY NOTE:
ALL BURIED SERVICES HAVE NOT BEEN SHOWN. ALL SERVICES INCLUDING, BUT NOT LIMITED TO, NATURAL GAS, CABLE, BELL, HYDRO, STORM AND SANITARY SEWERS MUST BE LOCATED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION OR EXCAVATION OF ANY KIND.

BENCH MARK NOTE:
ALL ELEVATIONS SHOWN HERE ON ARE GEODETIC AND HAVE BEEN DERIVED FROM GPS OBSERVATIONS BASED ON THE TOPNET REAL TIME NETWORK GPS SYSTEM.

LEGEND

■	DENOTES SURVEY MONUMENT FOUND
□	SURVEY MONUMENT SET
SB	STANDARD IRON BAR
SSB	SHORT STANDARD IRON BAR
IB	IRON BAR
WT	WITNESS
NO	NO IDENTIFICATION
950	CUNNINGHAM McCONNELL LIMITED
PS	PLASTIC BAR
PIN	PROPERTY IDENTIFIER NUMBER
MTD	MINISTRY OF TRANSPORTATION OF ONTARIO
CM	CONCRETE MONUMENT
843	G.M. FARROW O.L.S.
P1	PLAN 20R-1930S
P2	PLAN 20R-9286

CONTOUR NOTE:
CONTOUR INTERVAL = 0.25 METRES.

INTEGRATION NOTE:
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS (ORP'S) A & B BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD 83 CRS (2010).

COORDINATES ARE UTM ZONE 17, NAD 83 CRS (2010), TO URBAN ACCURACY PER SEC. 14 (2) OF CSRS (2010), AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

ORP

	NORTHING	EASTING
A	4816548.83	593155.13
B	4816446.58	593260.28

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99986174.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM;
2. THE SURVEY WAS COMPLETED ON JUNE 8, 2022.

DATE: JUNE 15, 2022
Robert D. McConnell
ROBERT D. MCCONNELL
ONTARIO LAND SURVEYOR

REVISION NOTES:

- 1) ADDED CENTRELINE OF TOWNSHIP ROAD ALLOWANCE AND EASTERN LIMIT OF THE TOWNSHIP ROAD ALLOWANCE.
- 2) ADDED TIES TO ORIGINAL LIMIT OF THE TOWNSHIP ROAD ALLOWANCE FROM FRONT PROPERTY CORNERS.
- 3) CONTOURS ADDED.

DATE: FEBRUARY 6, 2023

Robert D. McConnell
ROBERT D. MCCONNELL
ONTARIO LAND SURVEYOR

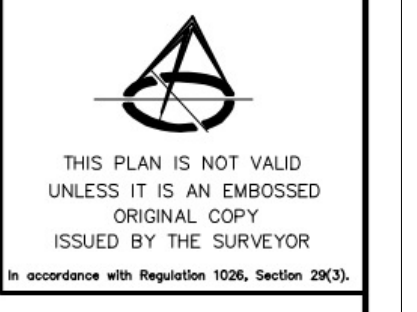
BEARING COMPARISON NOTE:
BEARINGS SHOWN HEREON FROM P2 ARE ASTRONOMIC.

CUNNINGHAM McCONNELL LIMITED
ONTARIO LAND SURVEYORS

205 MAIN STREET
MILTON, ONTARIO L9T 1M7
PHONE: (905) 878-6672
FAX: (905) 878-6672
milton.office@cunningham-mcconnell.com
O.L.S. FILE # 42-22-1C (Etop-549-599)

1200 SPEERS ROAD, UNIT 38
DARKVILLE, ONTARIO L6L 2K4
PHONE: (905) 845-3497
FAX: (905) 845-3519
info@cmmls.com
CLIENT: COUMBOK

**ASSOCIATION OF ONTARIO
LAND SURVEYORS**
PLAN SUBMISSION FORM
V-29491



10 2023-11-07	Issued for Reasoning Pre-Submission	G
9 2023-11-10	Issued for 100% DD	G
7 2023-10-17	Issued for Comprehensive Design Review	G
4 2023-07-03	Issued for 90% DD	G
2 2023-04-06	Issued for 100% SD	G
1 2023-04-06	Issued for Reasoning	G
# date	revision	by

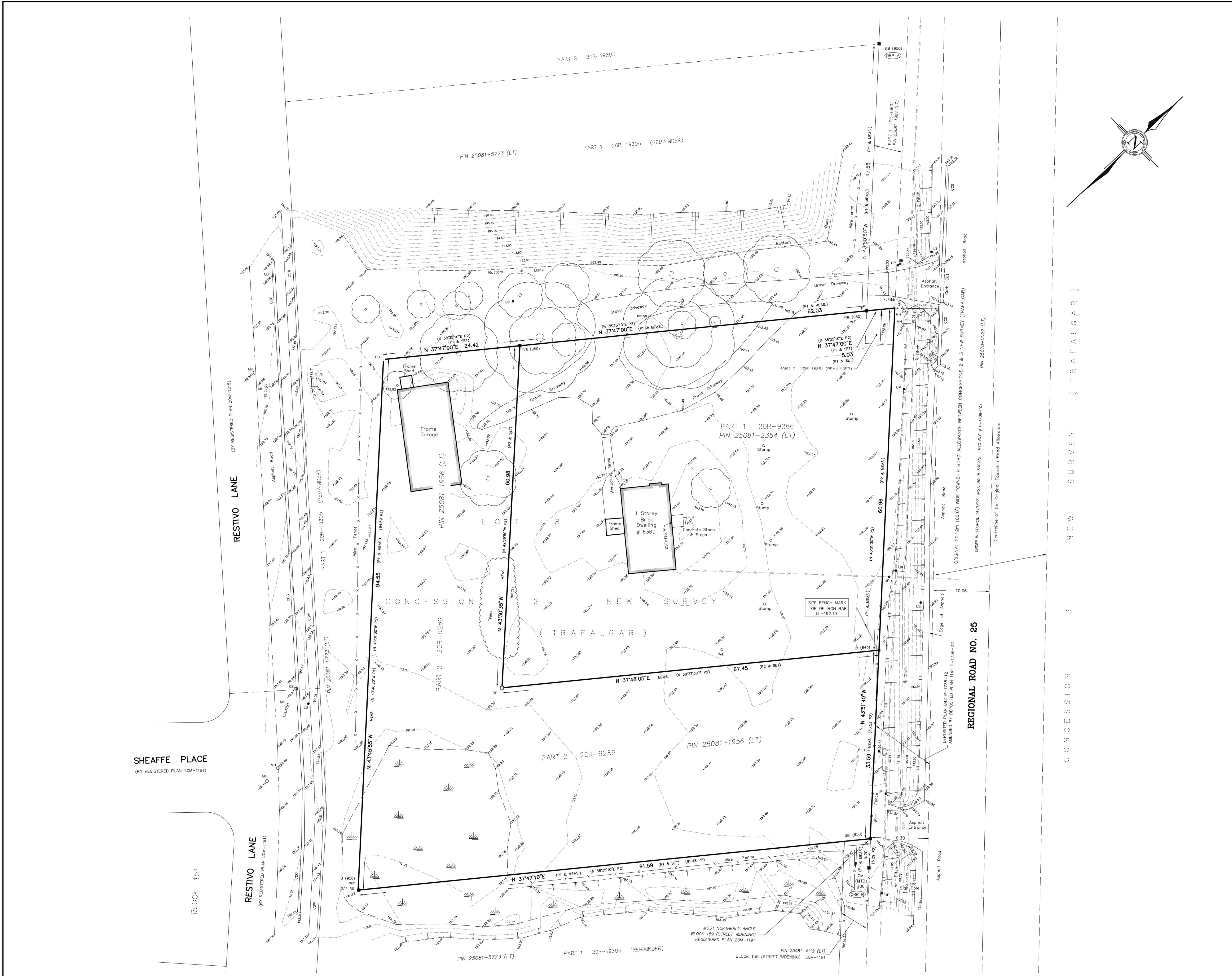
NOT FOR CONSTRUCTION

Excellent Milton LTC
6300 Reginald Rd 25, Milton, Ontario

SITE SURVEY AND REGISTERED PLAN

date:	1-4-20
drawn by:	
reviewed by:	
job number:	2021
plot date:	2023-11-28 1:21:33 PM
drawing number:	

A1.00



CONCESSION 2 NEW SURVEY (TRAFALGAR)

SHEAFFE PLACE
(BY REGISTERED PLAN 20M-1191)

RESTIVO LANE
(BY REGISTERED PLAN 20M-1315)

RESTIVO LANE
(BY REGISTERED PLAN 20M-1191)

REGIONAL ROAD NO. 25

BLOCK 151

BLOCK 159 (STREET WIDTHING)
REGISTERED PLAN 20M-1191

LEGAL DESCRIPTION:
PART OF LOT 1
CONCESSION 3, NEW SURVEY
GEOGRAPHIC TOWNSHIP OF TRAFALGAR
TOWN OF HALTON
REGIONAL MUNICIPALITY OF HALTON
ALL PROPERTY BOUNDARY INFORMATION AS PER SURVEY PREPARED BY ROBERT
D. MCNEEL, DATED JUNE 15, 2022



1 SITE PLAN - EXISTING ROAD
1:200

10	2025-11-07	Issued for Receiving Pre-Submission	G
4	2025-07-03	Issued for 90% LTO	G
2	2025-04-06	Issued for 100% SD	G
1	2025-04-06	Issued for Receiving	G
#	date	revision	by

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Excelligent Milton LTC
6360 Regional Rd 25, Milton, Ontario

SITE PLAN - EXISTING



author	As indicated
drawn by	
reviewed by	
job number	20012
plot date	2025-11-28 1:21:38 PM
drawing number	

LEGAL DESCRIPTION:

PART OF LOT 1
CONCESSION 3, NEW SURVEY
GEOGRAPHIC TOWNSHIP OF TRAFALGAR
TOWNSHIP OF HALTON
REGIONAL MUNICIPALITY OF HALTON

ALL PROPERTY BOUNDARY INFORMATION AS PER SURVEY PREPARED BY ROBERT D. MCNEEL, DATED JUNE 15, 2023.

SITE STATISTICS:

PROPERTY ADDRESS:	6360 Regional Rd 25, Milton, ON, L9T 2A5
PROPOSED SITE USE:	LONG TERM CARE
TOTAL LOT AREA:	8,143.92 m ² (97,235.25 sq ft)
TOTAL PAVED AREA:	3,371.35 m ² (36,288.97 sq ft)
TOTAL LANDSCAPED AREA:	4,772.57 m ² (51,546.28 sq ft)
BUILDING COVERAGE:	2,219.81 m ² (23,883.73 sq ft) = 27%
FUTURE COMMERCIAL RETAIL OFFICES AREA (GFA):	1,113.82 m ² (11,984.48 sq ft)
EXISTING GFA:	N/A
TOTAL PROPOSED GFA:	13,813.4 m ² (147,134.88 sq ft)
FLOOR SPACE INDEX:	1.68
TOTAL NUMBER OF BAYS:	4
BASIC BEDS:	12 BASIC
PRIVATE BEDS:	138 PRIVATE
SEMI PRIVATE BEDS:	72 SEMI PRIVATE
TOTAL NUMBER OF BEDS:	162 TOTAL BEDS
PROPOSED BUILDING HEIGHT (EXCLUDING MPP):	31.15 m
PROPOSED BUILDING HEIGHT (STOREYS):	8 STOREYS
LOADING SPACE DIMENSIONS:	3.5m x 4 + 12m ft
REQUIRED PARKING SPACES (per 11 beds + 1 nurse/3247 sq ft of retail offices):	95 (nursery + B.F. garage)
PROPOSED PARKING SPACES:	133 SPACES
TOTAL NUMBER OF PARKING SPACES:	133 SPACES
AMBUULANCE PARKING SPACE DIMENSIONS:	2.25m x 5.5m
BARRIER-FREE PARKING SPACE DIMENSIONS:	2.75m x 5.5m (min) + 1.5m x 6m (min)
TREES REMOVED WITH LIGHT:	XX TREES (XX marked for every X tree removed)
TREES PLANTED:	XX TREES (XX marked for every X tree removed)

SITE LEGEND:

	EXISTING
	SOD
	SEEDS - FEATURE PLANTING
	BIORETTE RAIN GARDEN
	ASPHALT PAVING - HEAVY DUTY
	ASPHALT PAVING - LIGHT DUTY
	CONCRETE PAVING 1
	CONCRETE PAVING 2
	HEAVY DUTY CONCRETE PAVING
	PERMEABLE LINT PAVES 1
	PERMEABLE LINT PAVES 2
	PAINTED LINES
	PROPERTY LINE
	SETBACK LINE
	FIRE ROUTE
	FENCE
	RETAINING WALL WITH GUARD RAIL
	FIRE HYDRANT
	FIRE ROUTE SIGN
	ACCESSIBLE PARKING SIGN
	EV CHARGING PARKING SIGN
	BARBECUE CONNECTION
	PRINCIPAL BUILDING ENTRANCE
	BUILDING ENTRANCE - EXIT
	EXTERIOR SITE LIGHTING
	BOLLARD WITH LIGHT
	BOLLARD
	CURB RAMP WITH TACTILE WARNING STRIP INDICATOR
	EV CHARGING SPACE ONLY
	EV CHARGING STATION
	PARKING CURB

PARKING LEGEND:

	BARRIER FREE PARKING SPACE DIMENSIONS
	STANDARD PARKING SPACE DIMENSIONS



1 SITE PLAN
1:200

10 2023-11-27	Issued for Reasoning Pre-Submission	G
9 2023-11-10	Issued for 100% DD	G
7 2023-10-17	Issued for Comprehensive Design Review	G
6 2023-10-08	Issued for M.T.C. Preliminary Plan Re-submission	G
5 2023-09-22	Issued for CM Expression of Interest	G
4 2023-07-05	Issued for 50% DD	G
3 2023-06-01	Issued for M.T.C. Preliminary Plan Submission	G
2 2023-04-06	Issued for 100% SD	G
1 2023-04-01	Issued for Reasoning	G
#	date	revision
		by

NOT FOR CONSTRUCTION

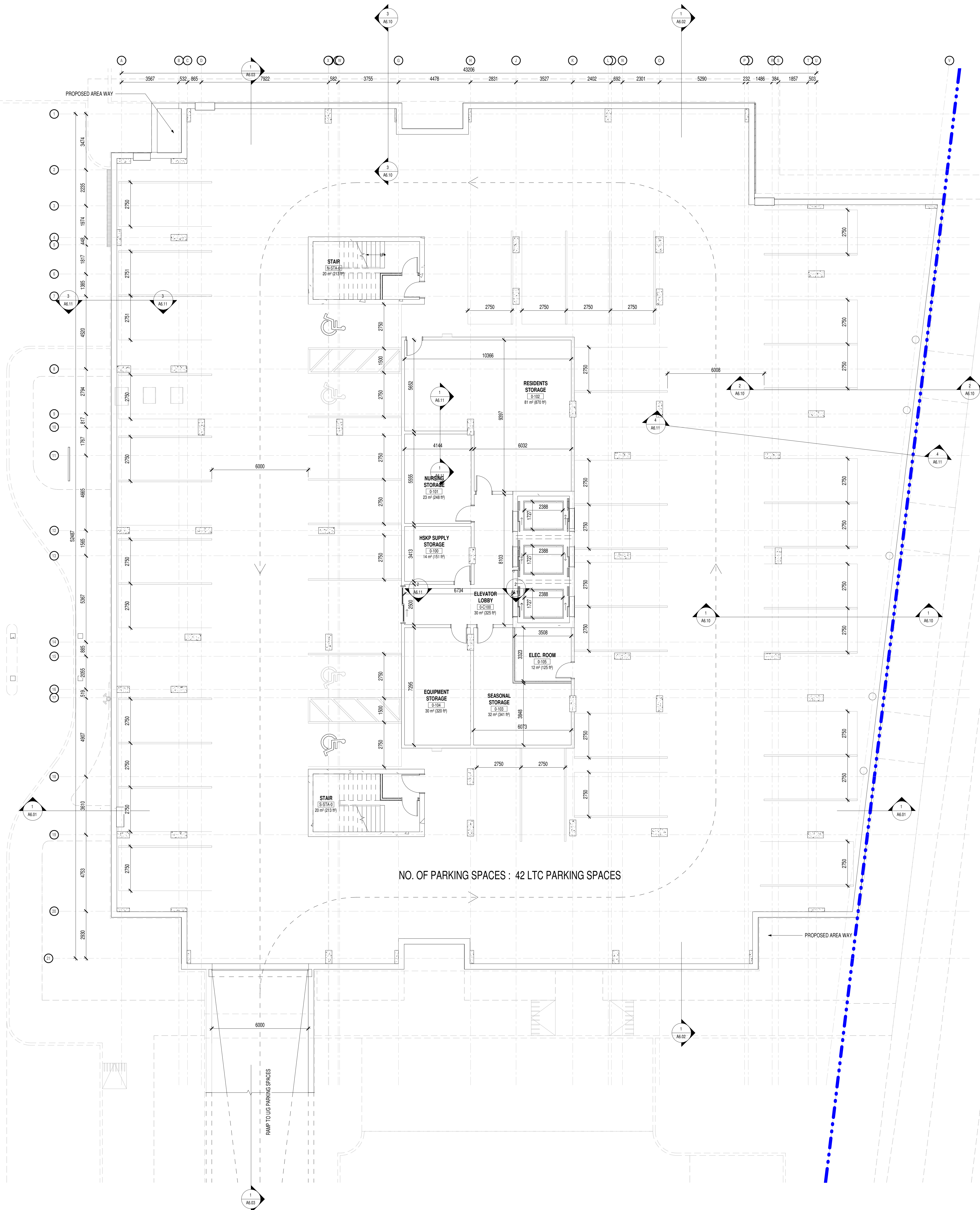
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Excellent Milton LTC
6360 Regional Rd 25, Milton, Ontario

SITE PLAN - PROPOSED



drawn by:	As indicated
checked by:	
reviewed by:	
job number:	20212
plot date:	2023-11-28 1:21:40 PM
drawing number:	



NO. OF PARKING SPACES : 42 LTC PARKING SPACES

FRAMING PLAN LEGEND:

- NOT PART OF THIS PHASE
- ELEVATION HEIGHT FROM SITE DATUM
- ELEVATION HEIGHT FROM BUILDING DATUM
- MAIN BUILDING ENTRANCE
- BUILDING EXIT
- SITE ENTRANCE
- Ø1.00mm BARRED FREE TURNING CIRCLE
- Ø1.70mm BARRED FREE TURNING CIRCLE

GENERAL NOTES

1. FLOOR PLANS TO BE IN CONJUNCTION WITH MECHANICAL, STRUCTURAL, CIVIL, ELECTRICAL, & LANDSCAPE DRAWINGS.

10	2023-11-27	Issued for Reasoning Pre-Submission	G
9	2023-11-10	Issued for 100% DD	G
7	2023-10-17	Issued for Comprehensive Design Review	G
6	2023-10-06	Issued for M.T.C. Preliminary Plan Resubmission	G
4	2023-07-05	Issued for 50% DD	G
3	2023-06-01	Issued for M.T.C. Preliminary Plan Submission	G
2	2023-04-06	Issued for 100% SD	G
1	2023-04-06	Issued for Reasoning	G
#	date	revision	by

NOT FOR CONSTRUCTION

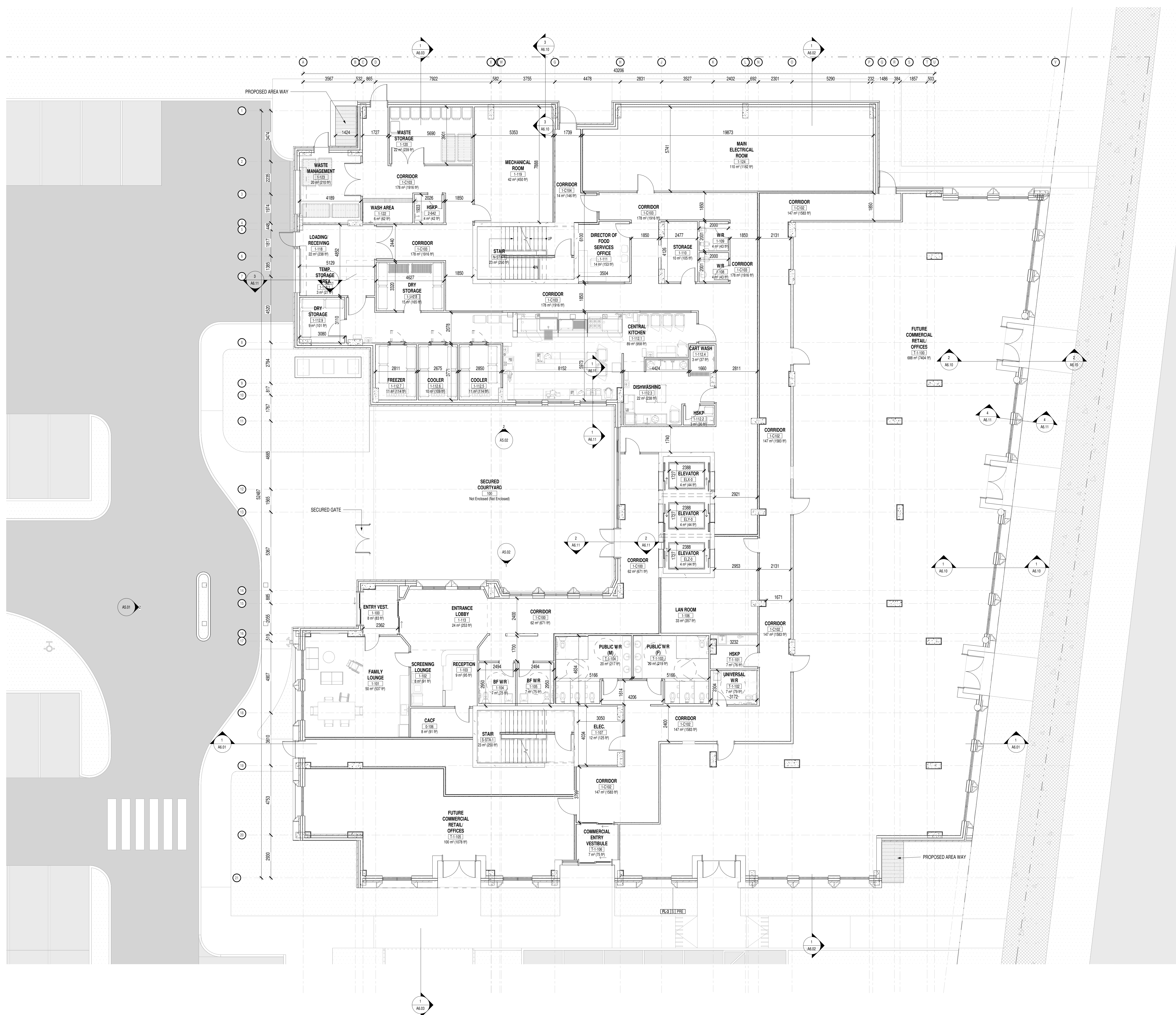
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6360 Reginald Rd 25, Milton, Ontario

BASEMENT - FRAMING PLAN



scale: 1:100
 drawn by:
 reviewed by:
 job number: 20012
 job date: 2023-11-28 1:21:41 PM
 drawing number:



FRAMING PLAN LEGEND:

- NOT PART OF THIS PHASE
- ELEVATION HEIGHT FROM SITE DATUM
- ELEVATION HEIGHT FROM BUILDING DATUM
- MAIN BUILDING ENTRANCE
- BUILDING EXIT
- SITE ENTRANCE
- 81.00mm BARRED FREE TURNING CIRCLE
- 81.75mm BARRED FREE TURNING CIRCLE

GENERAL NOTES

1. FLOOR PLANS TO BE READ IN CONJUNCTION WITH MECHANICAL, STRUCTURAL, CIVIL, ELECTRICAL, & LANDSCAPE DRAWINGS.

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9	2023-11-10	Issued for 100% DD	G
7	2023-10-17	Issued for Comprehensive Design Review	G
6	2023-10-06	Issued for M.T.C. Preliminary Plan Resubmission	G
4	2023-07-05	Issued for 50% DD	G
3	2023-06-01	Issued for M.T.C. Preliminary Plan Submission	G
2	2023-04-06	Issued for 100% SD	G
1	2023-04-01	Issued for Reasoning	G
#	date	revision	by

NOT FOR CONSTRUCTION

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6360 Reginald Rd 25, Milton, Ontario

LEVEL 1 - FRAMING PLAN



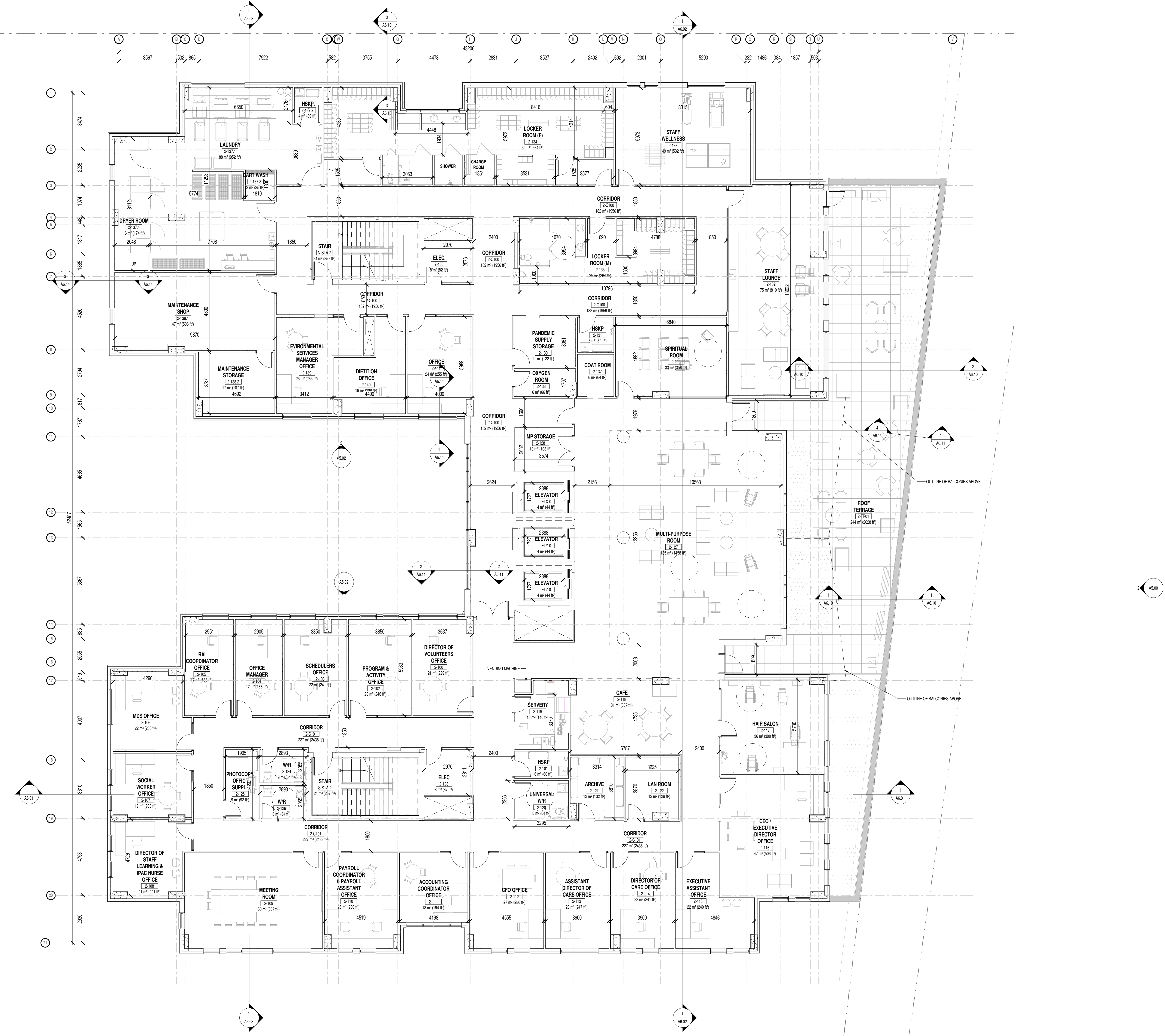
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drawn by:	
reviewed by:	
job number:	20012
plot date:	2023-11-28 1:21:48 PM
drawing number:	

FRAMING PLAN LEGEND:

- NOT PART OF THIS PHASE
- ELEVATION HEIGHT FROM SITE DATUM
- ELEVATION HEIGHT FROM BUILDING DATUM
- MAIN BUILDING ENTRANCE
- BUILDING EXIT
- SITE ENTRANCE
- Ø1.00mm BARRED FREE TURNING CIRCLE
- Ø1.75mm BARRED FREE TURNING CIRCLE

GENERAL NOTES

1. FLOOR PLANS TO BE READ IN CONJUNCTION WITH MECHANICAL, STRUCTURAL, CIVIL, ELECTRICAL, & LANDSCAPE DRAWINGS.



1 LEVEL 2 - FRAMING
1:100

10	2023-11-27	Issued for Reasoning Pre-Submission	G
9	2023-11-10	Issued for 100% DD	G
7	2023-10-17	Issued for Comprehensive Design Review	G
6	2023-10-06	Issued for M.T.C. Preliminary Plan Resubmission	G
4	2023-07-05	Issued for 50% DD	G
3	2023-06-01	Issued for M.T.C. Preliminary Plan Submission	G
2	2023-04-06	Issued for 100% SD	G
1	2023-04-01	Issued for Reasoning	G
#	date:	revision:	by:

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LEVEL 2 - FRAMING PLAN

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drawn by:
reviewed by:
job number: 20012
plot date: 2023-11-28 1:21:57 PM
drawing number:

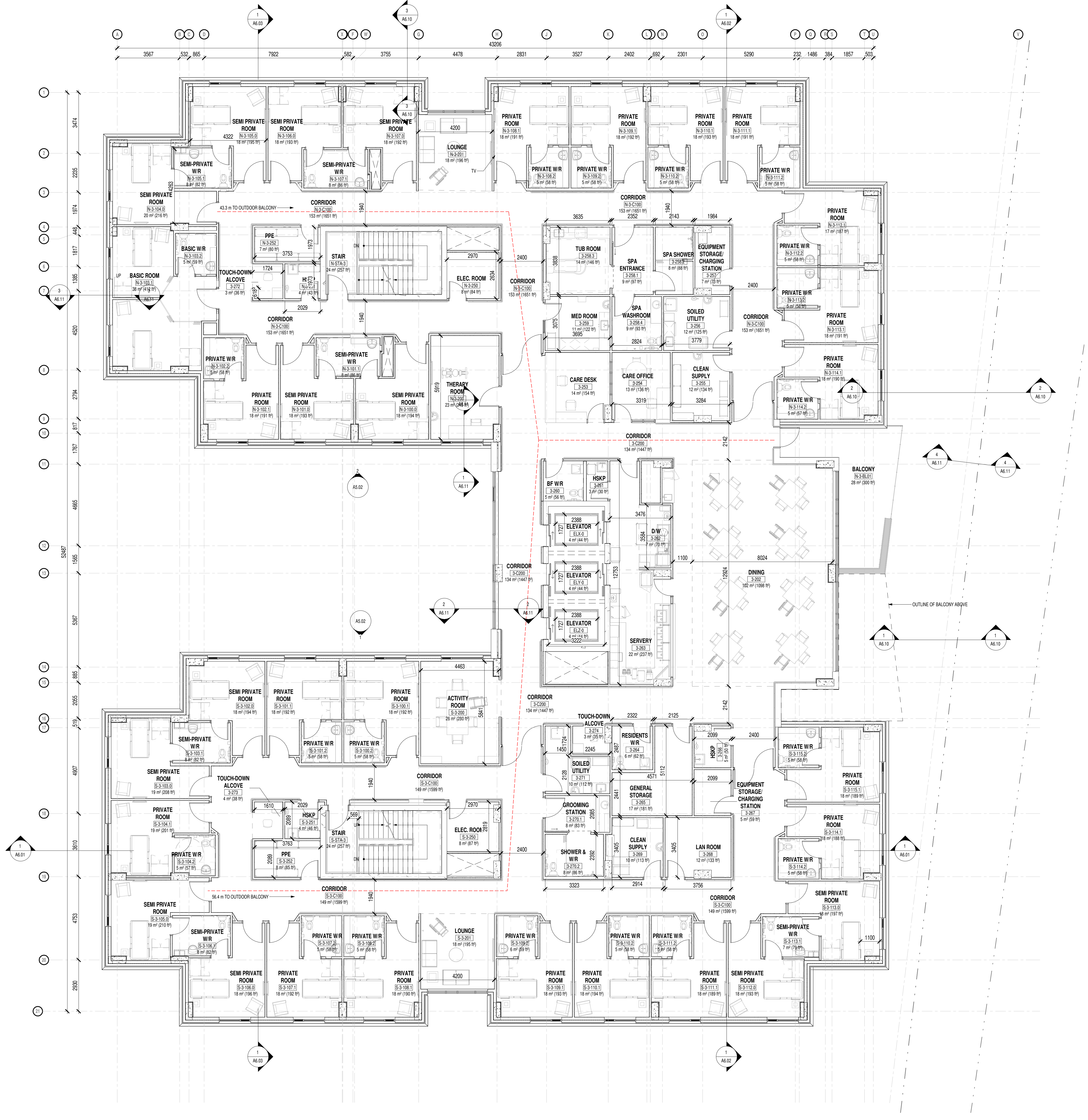
ADD BUILDING KEYPLAN HERE

FRAMING PLAN LEGEND:

- NOT PART OF THIS PHASE
- ELEVATION HEIGHT FROM SITE DATUM
- ELEVATION HEIGHT FROM BUILDING DATUM
- MAIN BUILDING ENTRANCE
- BUILDING EXIT
- SITE ENTRANCE
- Ø1.00mm BARRED FREE TURNING CIRCLE
- Ø1.75mm BARRED FREE TURNING CIRCLE

GENERAL NOTES

1. FLOOR PLANS TO BE READ IN CONJUNCTION WITH MECHANICAL, STRUCTURAL, CIVIL, ELECTRICAL, & LANDSCAPE DRAWINGS.



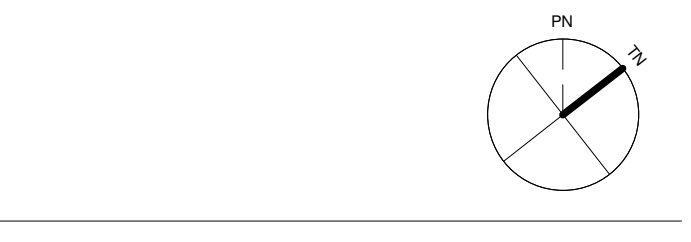
date	revision	by
2023-11-27	Issued for Reasoning Pre-Submission	G
2023-11-10	Issued for 100% DD	G
2023-10-17	Issued for Comprehensive Design Review	G
2023-10-06	Issued for M.T.C. Preliminary Plan Resubmission	G
2023-07-05	Issued for 50% DD	G
2023-06-01	Issued for M.T.C. Preliminary Plan Submission	G
2023-04-06	Issued for 100% SD	G
2023-04-01	Issued for Reasoning	G

NOT FOR CONSTRUCTION

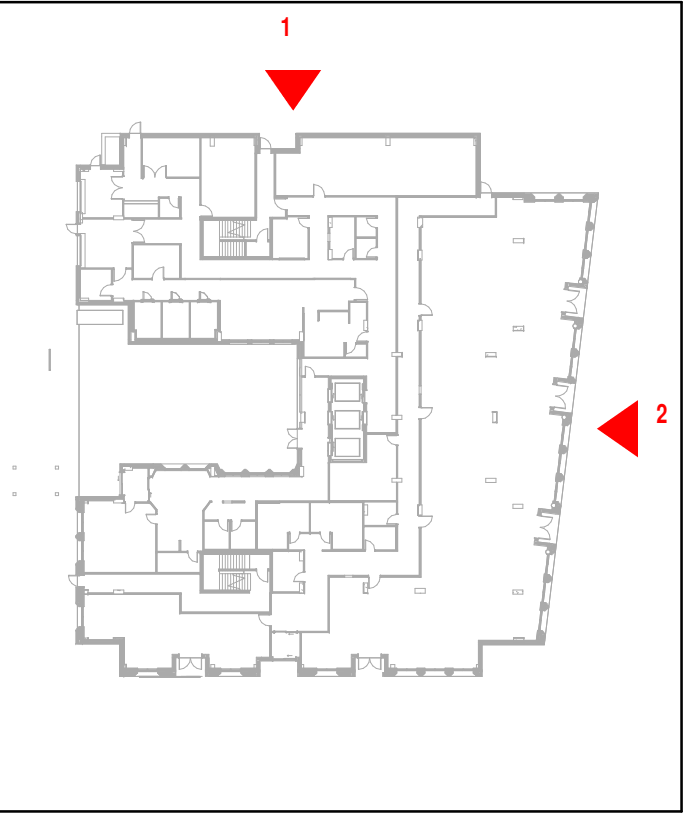
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6360 Reginald Rd. 25, Milton, Ontario

LEVEL 3 to 8 - FRAMING PLAN



scale	1:100
drawn by:	
reviewed by:	
job number:	20012
plot date:	2023-11-28 1:22:27 PM
drawing number:	



EXTERIOR MATERIAL LEGEND:

- BR-1 BRICK CLADDING
COLOUR: RED WARM ORANGE
- MFL-1 METAL PANEL CLADDING - TYPE 1
COLOUR: BONE WHITE
- MFL-2 METAL PANEL CLADDING - TYPE 2
COLOUR: SEAFORM GREEN
- ACM-1 ALUM. COMPOSITE PANEL
COLOUR: DARK BRONZE
- MFL-4 METAL FLASHING TYPE 1 - COLOUR TO MATCH ZINC GREY METAL PANEL



2 EAST ELEVATION
1:100



1 NORTH ELEVATION
1:100

10	2023-11-27	Issued for Rezoning Pre-Submission	G
9	2023-11-10	Issued for 100% DD	G
7	2023-10-17	Issued for Comprehensive Design Review	G
2	2023-04-06	Issued for 100% SD	G
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NOT FOR CONSTRUCTION

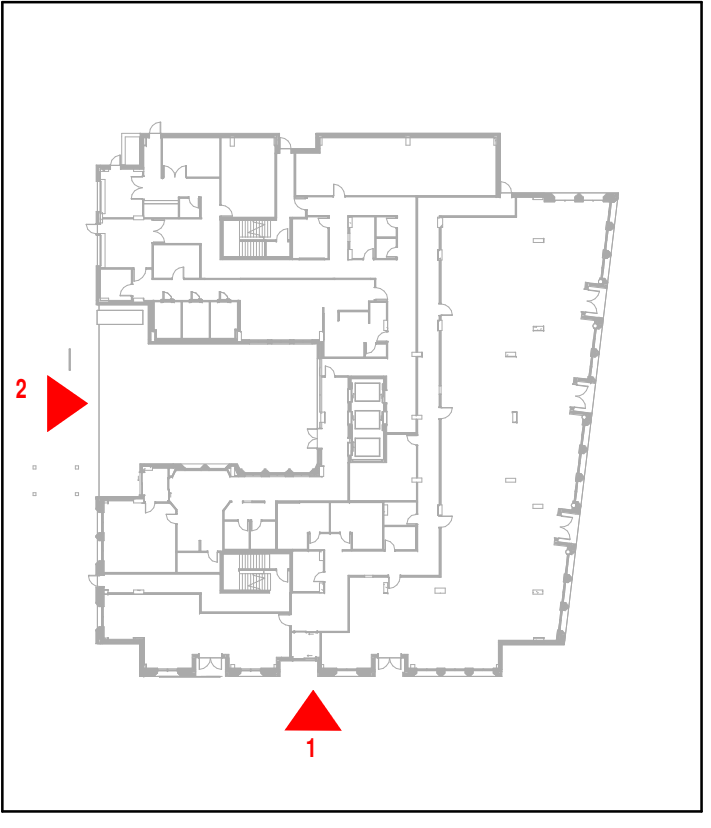
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6360 Reginald Rd 25, Milton, Ontario

NORTH AND EAST ELEVATIONS



drawn by:	As Indicated
reviewed by:	
job number:	20212
plot date:	2023-11-28 1:22:38 PM
drawing number:	



EXTERIOR MATERIAL LEGEND:

BR-1	BRICK CLADDING COLOUR: RED WARM ORANGE
MFL-1	METAL PANEL CLADDING - TYPE 1 COLOUR: BONE WHITE
MFL-2	METAL PANEL CLADDING - TYPE 2 COLOUR: SEAFOAM GREEN
ACH-1	ALUM. COMPOSITE PANEL COLOUR: DARK BRONZE
MFL-4	METAL FLASHING TYPE 1 - COLOUR TO MATCH ZINC GREY METAL PANEL



2 WEST ELEVATION
1:100



1 SOUTH ELEVATION
1:100

10	2023-11-27	Issued for Rezoning Pre-Submission	G
9	2023-11-10	Issued for 100% DD	G
8	2023-11-01	Issued for Rezoning Resubmission	G
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6360 Reginald Rd 25, Milton, Ontario

SOUTH AND WEST ELEVATIONS



scale: As Indicated
drawn by:
reviewed by:
job number: 20012
plot date: 2023-11-28 1:22:45 PM
drawing number:



STREET PERSPECTIVE

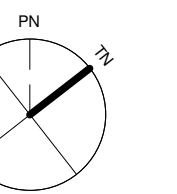
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9	2023-11-10	Issued for 100% DD	G
7	2023-10-17	Issued for Comprehensive Design Review	G
5	2023-09-22	Issued for CMR Expression of Interest	G
#	date	revision	by

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Excellent Milton LTC
6360 Reginald Rd 25, Milton, Ontario

BUILDING RENDERING



author:	
checked by:	
job number:	20012
plot date:	2023-11-28 1:22:48 PM
drawing number:	



WEST SIDE VIEW

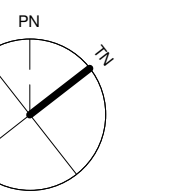
10 2025-11-27 Issued for Rezoning Pre-Submission G
9 2025-11-10 Issued for 100% DD G
7 2025-10-17 Issued for Comprehensive Design Review G
date revision C

NOT FOR CONSTRUCTION

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BUILDING RENDERING



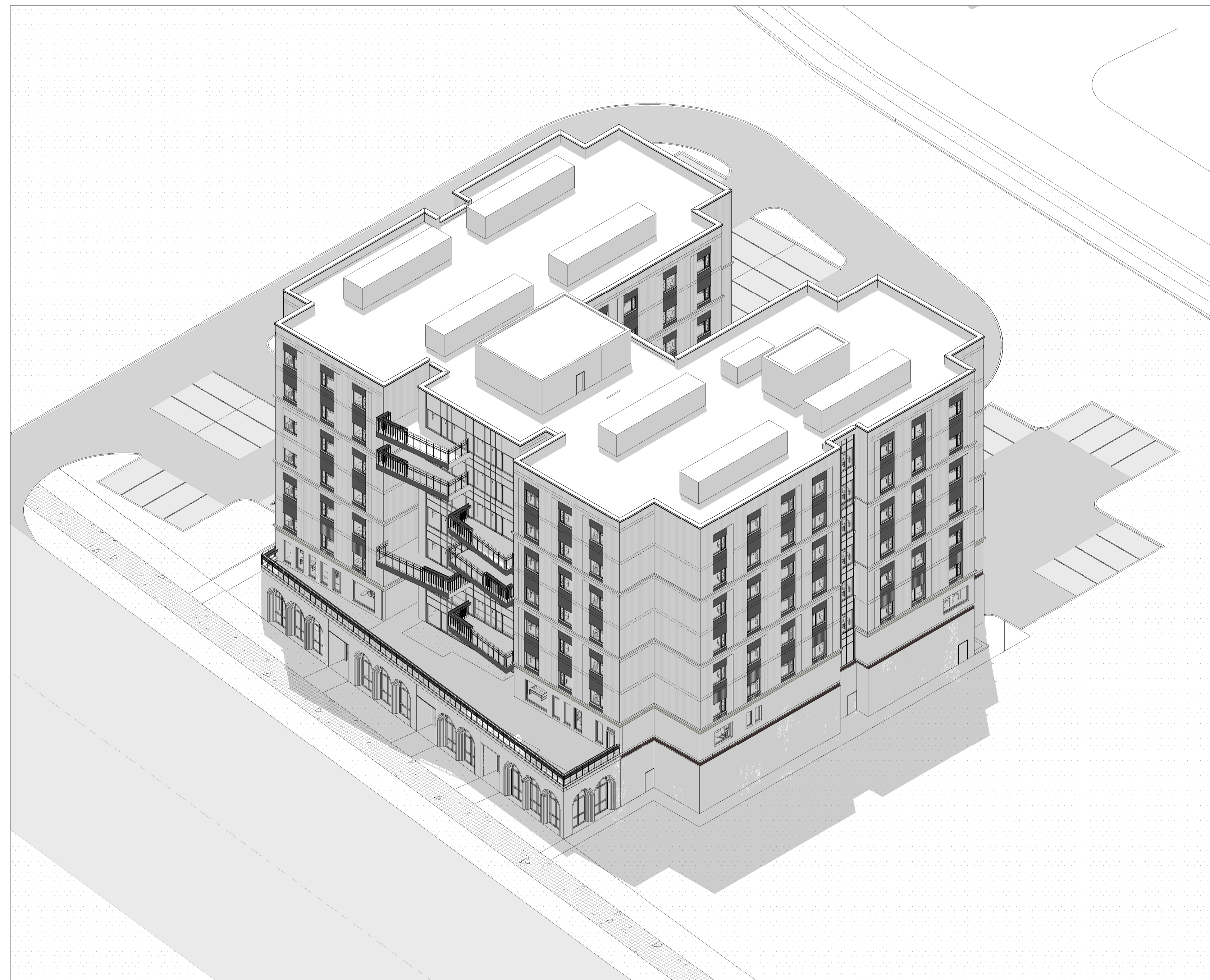
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drawn by:
reviewed by:
job number: 20212
plot date: 2023-11-28 1:22:48 PM
drawing number:



4 BUILDING MASSING N/W



3 BUILDING MASSING S/W



2 BUILDING MASSING N/E



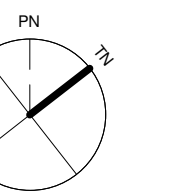
1 BUILDING MASSING S/E

10	2023-11-27	Issued for Reasoning Pre-Submission	G
9	2023-11-10	Issued for 100% SD	G
7	2023-10-17	Issued for Comprehensive Design Review	G
6	2023-10-06	Issued for M.T.C. Preliminary Plan Resubmission	G
3	2023-09-01	Issued for M.T.C. Preliminary Plan Submission	G
2	2023-04-06	Issued for 100% SD	G
1	2023-04-06	Issued for Reasoning	G
#	date	revision	by

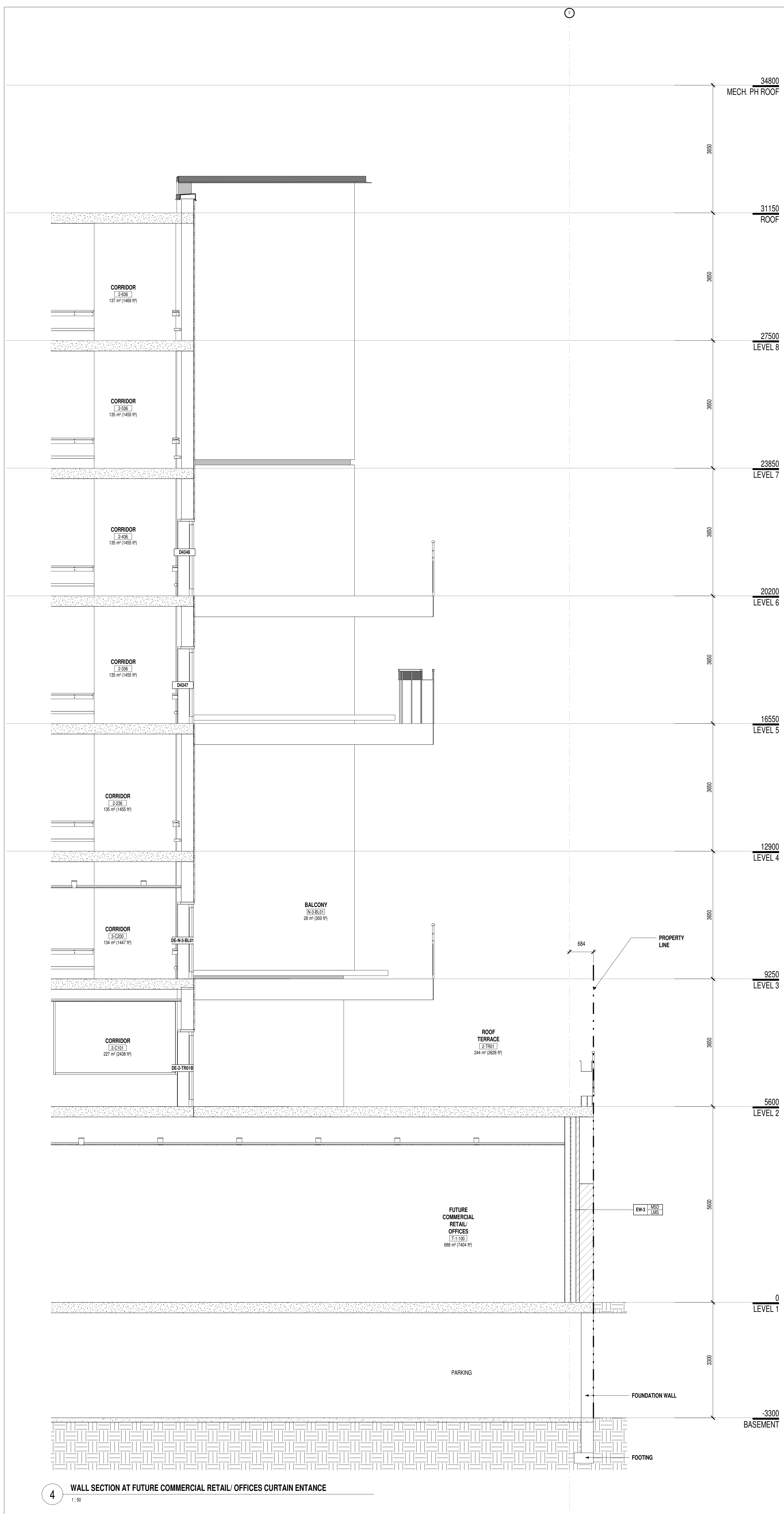
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BUILDING MASSING

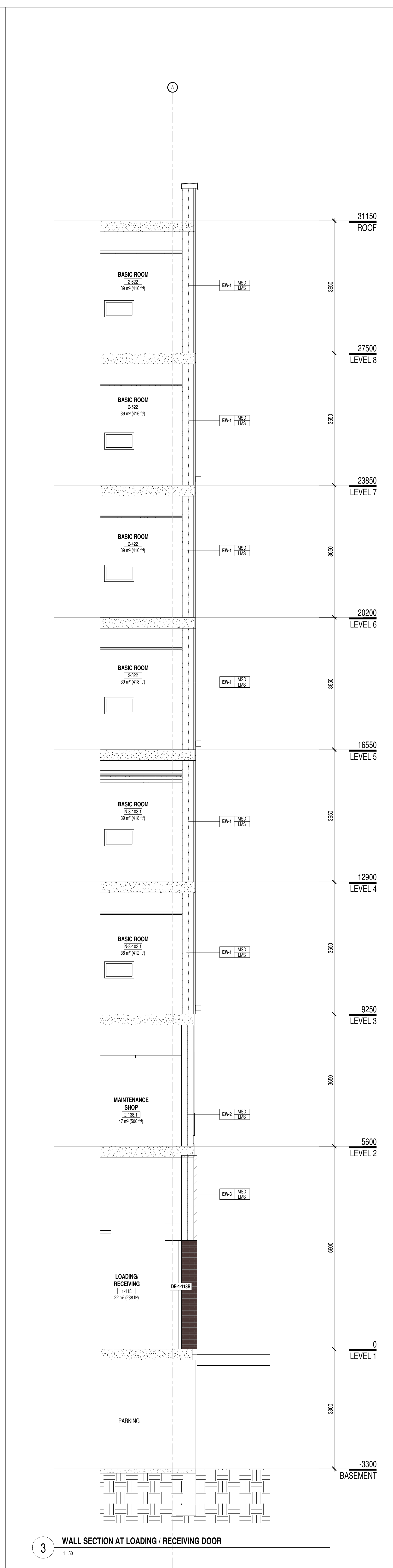


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job number: 20012
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drawing number:



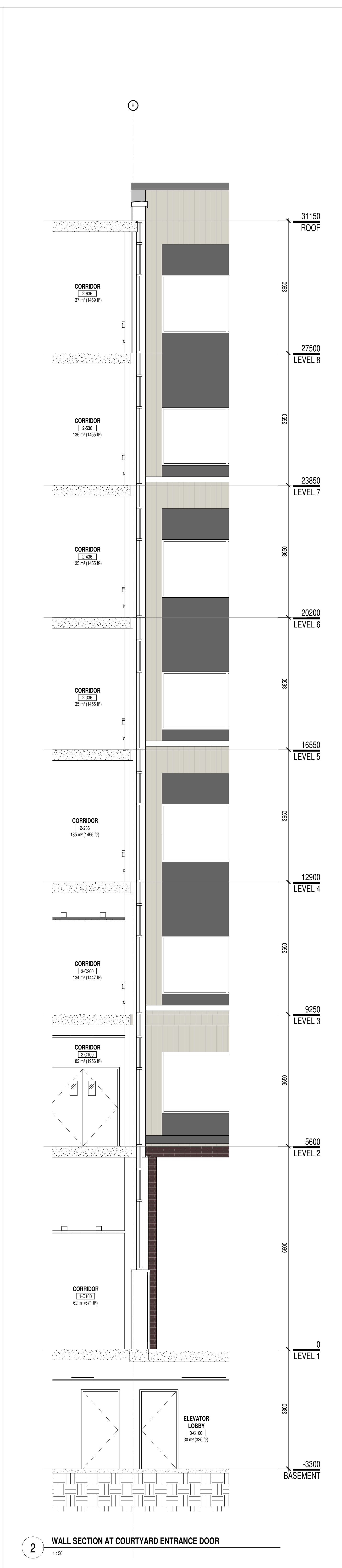
4 WALL SECTION AT FUTURE COMMERCIAL RETAIL/OFFICES CURTAIN ENTRANCE

1:50



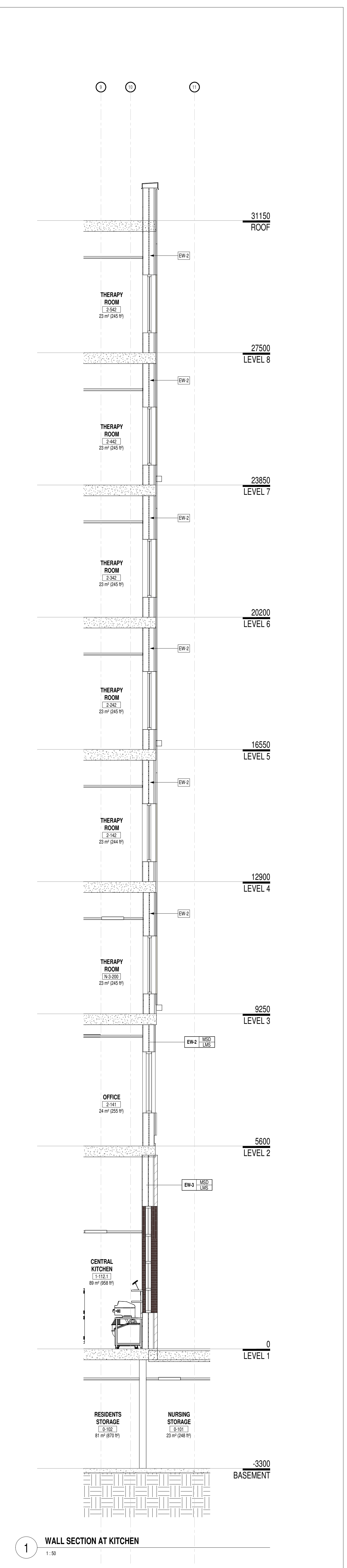
3 WALL SECTION AT LOADING / RECEIVING DOOR

1:50



2 WALL SECTION AT COURTYARD ENTRANCE DOOR

1:50



1 WALL SECTION AT KITCHEN

1:50

10/2023/11/27 Issued for Reasoning Pre-Submission
09/2023/11/20 Issued for 100% CDD
date: revision:

NOT FOR CONSTRUCTION

All drawings and specifications are the property of the Architect. The Contractor shall verify all dimensions and information on site and report any discrepancies to the Architect before proceeding.

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EXTERIOR WALL SECTIONS

date: 1:50
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reviewed by:
job number: 20212
plot date: 2023/11/28 1:24:24 PM
drawing number:

FUTURE COMMERCIAL/RETAIL OFFICES			
LEVEL	ROOM #	ROOM NAME	AREA (SM)
LEVEL 1	F-1-100	FUTURE COMMERCIAL/RETAIL OFFICES	100 sqf
LEVEL 1	F-1-100	FUTURE COMMERCIAL/RETAIL OFFICES	689 sqf
LEVEL 1	F-1-100	PUBLIC W/IR (P)	20 sqf
LEVEL 1	F-1-104	PUBLIC W/IR (R)	20 sqf
LEVEL 1	F-1-100	UNIVERSAL W/IR	7 sqf
LEVEL 1	F-1-100	H/SP	7 sqf
LEVEL 1	F-1-106	COMMERCIAL ENTRY VESTIBULE	7 sqf
TOTALS			850 sqf

FACILITY MANAGEMENT			
LEVEL	ROOM #	ROOM NAME	AREA (SM)
BASEMENT			
BASEMENT	B-101	NURSING STORAGE	23 sqf
BASEMENT	B-100	H/SP SUPPLY STORAGE	14 sqf
BASEMENT	B-102	RESIDENTS STORAGE	20 sqf
BASEMENT	B-104	EQUIPMENT STORAGE	27 sqf
BASEMENT	B-103	STORAGE STORAGE	22 sqf
BASEMENT	B-105	ELEC. ROOM	12 sqf
LEVEL 1			
LEVEL 1	1-107	ELEC.	12 sqf
LEVEL 1	1-110	MECHANICAL ROOM	42 sqf
LEVEL 1	1-104	MAIN ELECTRICAL ROOM	19 sqf
LEVEL 1	1-103	DRY STORAGE	3 sqf
LEVEL 1	1-107	FREEZER	11 sqf
LEVEL 1	1-101	DISHWASHER KITCHEN	89 sqf
LEVEL 1	1-103	COOLER	11 sqf
LEVEL 1	1-106	LAN ROOM	20 sqf
LEVEL 1	1-102	WASTE STORAGE	22 sqf
LEVEL 1	1-103	WASTE MANAGEMENT	22 sqf
LEVEL 1	1-110	LOADING RECEIVING	22 sqf
LEVEL 1	1-108	DRY STORAGE	18 sqf
LEVEL 1	1-102	W/SP AREA	6 sqf
LEVEL 1	1-111	DIRECTOR OF FOOD SERVICES OFFICE	14 sqf
LEVEL 1	1-108	W/IR	4 sqf
LEVEL 1	1-109	W/IR	4 sqf
LEVEL 1	1-110	STORAGE	18 sqf
LEVEL 1	1-102	H/SP	3 sqf
LEVEL 1	1-108	LAN ROOM	20 sqf
LEVEL 1	1-103	COOLING	22 sqf
LEVEL 1	1-104	CART WASH	3 sqf
LEVEL 1	1-101	W/SP STORAGE AREA	3 sqf
LEVEL 1	1-102	H/SP	4 sqf
LEVEL 2			
LEVEL 2	2-107	LAUNDRY	86 sqf
LEVEL 2	2-100	PANTRY SUPPLY STORAGE	11 sqf
LEVEL 2	2-102	MAINTENANCE STORAGE	17 sqf
LEVEL 2	2-101	MAINTENANCE SHOP	5 sqf
LEVEL 2	2-101	H/SP	5 sqf
LEVEL 2	2-102	LAN ROOM	12 sqf
LEVEL 2	2-103	ELEC.	8 sqf
LEVEL 2	2-106	ELEC.	8 sqf
LEVEL 2	2-101	H/SP	8 sqf
LEVEL 2	2-104	DRYER ROOM	18 sqf
LEVEL 2	2-107	CART WASH	3 sqf
LEVEL 2	2-102	H/SP	4 sqf
LEVEL 2	2-108	CYCLING ROOM	8 sqf
TOTALS			900 sqf

ADMINISTRATION			
LEVEL	ROOM #	ROOM NAME	Area (SM)
LEVEL 2	2-114	DIRECTOR OF CARE OFFICE	22 sqf
LEVEL 2	2-115	EXECUTIVE ASSISTANT OFFICE	22 sqf
LEVEL 2	2-113	ASSISTANT DIRECTOR OF CARE OFFICE	22 sqf
LEVEL 2	2-112	CEO OFFICE	27 sqf
LEVEL 2	2-109	CONFERENCE OFFICE	22 sqf
LEVEL 2	2-102	PROGRAM & ACTIVITY OFFICE	22 sqf
LEVEL 2	2-104	OFFICE MANAGER	17 sqf
LEVEL 2	2-116	CEO - EXECUTIVE DIRECTOR OFFICE	47 sqf
LEVEL 2	2-108	DIRECTOR OF STAFF LEARNING & PROFESSIONAL DEVELOPMENT OFFICE	18 sqf
LEVEL 2	2-110	PATROL COORDINATOR & PHYSICIAN ASSISTANT OFFICE	26 sqf
LEVEL 2	2-105	PHOTOCOPY OFFICE SUPPLY	3 sqf
LEVEL 2	2-104	W/IR	6 sqf
LEVEL 2	2-106	W/IR	21 sqf
LEVEL 2	2-103	STAFF WELLNESS	46 sqf
LEVEL 2	2-100	DIRECTOR OF VOLUNTEERS OFFICE	21 sqf
LEVEL 2	2-107	BOOK WORKER OFFICE	18 sqf
LEVEL 2	2-109	MEETING ROOM	30 sqf
LEVEL 2	2-101	W/IR	12 sqf
LEVEL 2	2-106	W/IR OFFICE	22 sqf
LEVEL 2	2-105	INFO COORDINATOR OFFICE	17 sqf
LEVEL 2	2-105	LOCKER ROOM (M)	25 sqf
LEVEL 2	2-104	LOCKER ROOM (F)	25 sqf
LEVEL 2	2-109	ENVIRONMENTAL SERVICES MANAGER OFFICE	25 sqf
LEVEL 2	2-140	RECEPTION OFFICE	19 sqf
LEVEL 2	2-141	OFFICE	24 sqf
LEVEL 2	2-132	STAFF LOUNGE	75 sqf
LEVEL 2	2-132	LOCKER ROOM (F)	24 sqf
LEVEL 2	2-139	LOCKER ROOM (F)	25 sqf
TOTALS			742 sqf

WHOLE HOME AREA			
LEVEL	ROOM #	ROOM NAME	AREA (SM)
LEVEL 1	1-101	FAMILY LOUNGE	56 sqf
LEVEL 1	1-102	SCREENING LOUNGE	8 sqf
LEVEL 1	1-103	RECEPTION	9 sqf
LEVEL 1	1-104	BP W/IR	7 sqf
LEVEL 1	1-105	BP W/IR	7 sqf
LEVEL 1	1-100	ENTRY VEST.	8 sqf
LEVEL 1	1-103	ENTRANCE LOBBY	24 sqf
LEVEL 1	2-106	COPY	8 sqf
LEVEL 2			
LEVEL 2	2-127	MULTI-PURPOSE ROOM	126 sqf
LEVEL 2	2-127	H/SP BALCON	26 sqf
LEVEL 2	2-138	H/SP STORAGE	10 sqf
LEVEL 2	2-139	CARE	21 sqf
LEVEL 2	2-139	SPINNING ROOM	20 sqf
LEVEL 2	2-139	BERW/IR	13 sqf
LEVEL 2	2-139	UNIVERSAL W/IR	8 sqf
TOTALS			307 sqf

RHA BEDROOMS - TYPICAL		
ROOM NAME	AREA (SM)	QUANTITY
BASIC ROOM	~1000sqf	8
BASIC W/IR	~1000sqf	8
PRIVATE ROOM	20 sqf	100
PRIVATE W/IR	10 sqf	100
SEMI-PRIVATE ROOM	20 sqf	24
SEMI-PRIVATE W/IR	10 sqf	12
SEMI-PRIVATE ROOM	20 sqf	48
SEMI-PRIVATE W/IR	10 sqf	24

NOTE TO READER:
LEVELS 3, 4, 5, 6, 7 AND 8 ARE TYPICAL

SUPPORT NODES - TYPICAL		
ROOM #	ROOM NAME	AREA (SM)
3-265	GENERAL STORAGE	17 sqf
3-263	BERW/IR	22 sqf
3-262	DRY	7 sqf
3-261	H/SP	3 sqf
3-260	BP W/IR	3 sqf
3-259	LAN ROOM	12 sqf
3-258	DRY	18 sqf
TOTALS		78 sqf

NOTE TO READER:
LEVELS 3, 4, 5, 6, 7 AND 8 ARE TYPICAL

RESIDENT HOME SHARED SPACES - TYPICAL		
ROOM #	ROOM NAME	AREA (SM)
N-3-206	THERAPY ROOM	23 sqf
3-3-201	LOUNGE	58 sqf
3-3-200	ACTIVITY ROOM	26 sqf
3-3-202	DRIVING	102 sqf
N-3-203	LOUNGE	58 sqf
3-3-204	RESIDENTS W/IR	8 sqf
3-3-205	CLEAN SUPPLY	10 sqf
3-3-207	SOILED UTILITY	10 sqf
3-3-209	ELEC. ROOM	8 sqf
3-3-201	H/SP	4 sqf
3-3-202	PPE	8 sqf
3-3-207	EQUIPMENT STORAGE CHANGING STATION	3 sqf
3-3-203	CARE DESK	14 sqf
3-3-209	MULTI-ROOM	10 sqf
3-3-203	TUB ROOM	10 sqf
3-3-208	SOILED UTILITY	10 sqf
3-3-202	SPA BENCH	8 sqf
3-3-205	CLEAN SUPPLY	10 sqf
3-3-204	CARE OFFICE	12 sqf
N-3-206	ELEC. ROOM	8 sqf
N-3-202	PPE	3 sqf
N-3-203	H/SP	4 sqf
3-3-207	EQUIPMENT STORAGE CHANGING STATION	7 sqf
3-3-201	SPA ENTRANCE	8 sqf
3-3-203	PROOING STATION	8 sqf
3-3-204	H/SP	3 sqf
TOTALS		371 sqf

NOTE TO READER:
LEVELS 3, 4, 5, 6, 7 AND 8 ARE TYPICAL

GROSS AREA TABLE	
COMPONENT	AREA
BASEMENT	2,561.36 sqf
LEVEL 1	2,199.88 sqf
LEVEL 2	1,998.82 sqf
LEVEL 3	1,998.82 sqf
LEVEL 4	1,998.82 sqf
LEVEL 5	1,998.82 sqf
LEVEL 6	1,998.82 sqf
LEVEL 7	1,998.82 sqf
LEVEL 8	1,998.82 sqf
TOTAL GROSS FLOOR AREA EXCLUDING FUTURE COMMERCIAL/OFFICE SPACES	17,311.88 sqf

- 10 2023-11-27 Issued for Reasoning Pre-Submission G
- 9 2023-11-10 Issued for 100% DD G
- 7 2023-10-17 Issued for Comprehensive Design Review G
- 6 2023-10-06 Issued for MTC Preliminary Plan Resubmission G
- 4 2023-07-05 Issued for 50% DD G
- 3 2023-06-01 Issued for MTC Preliminary Plan Submission G
- 2 2023-04-06 Issued for 100% SD G
- 1 2023-04-01 Issued for Reasoning G

date revision by



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6360 Reginald Rd 25, Milton, Ontario

SCHEDULE OF ACCOMMODATIONS

DATE	REVISION
2023-11-28 1:24:27 PM	

drawing number: **A7.01**